

FOLKLANDS



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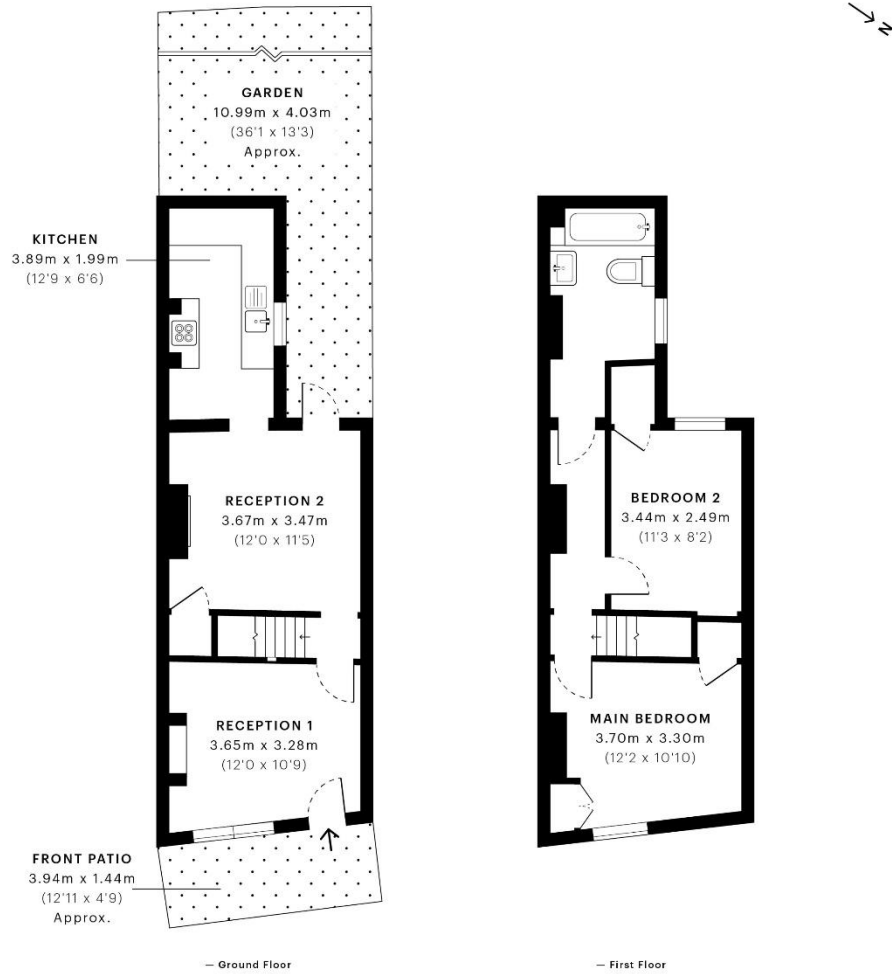
GLOUCESTER ROAD, CROYDON
GUIDE PRICE £365,000











GROSS INTERNAL AREA (GIA)
The total area of the property.
71.34 sqm / 767.90 sqft

NET INTERNAL AREA (NIA)
Indicates walls and external features.
Includes balconies, covered porches etc.
64.69 sqm / 699.89 sqft

EXTERNAL STRUCTURAL FEATURES
Columns, terraces, external walls...
0.00 sqm / 0.00 sqft

RESTRICTED HEIGHT
Limited area as under 2.0m
0.34 sqm / 3.65 sqft



Spec Verified floor plans are produced in accordance with Royal Institution of Chartered Surveyors' Property Measurement Standards. Plans and gardens are illustrative only and excluded from all area calculations. Due to rounding, numbers may not add up precisely. All measurements shown for the individual room lengths and widths are the maximum points of measurements captured in the scan.

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SPEC ID: 563d236c96090390e622116e8

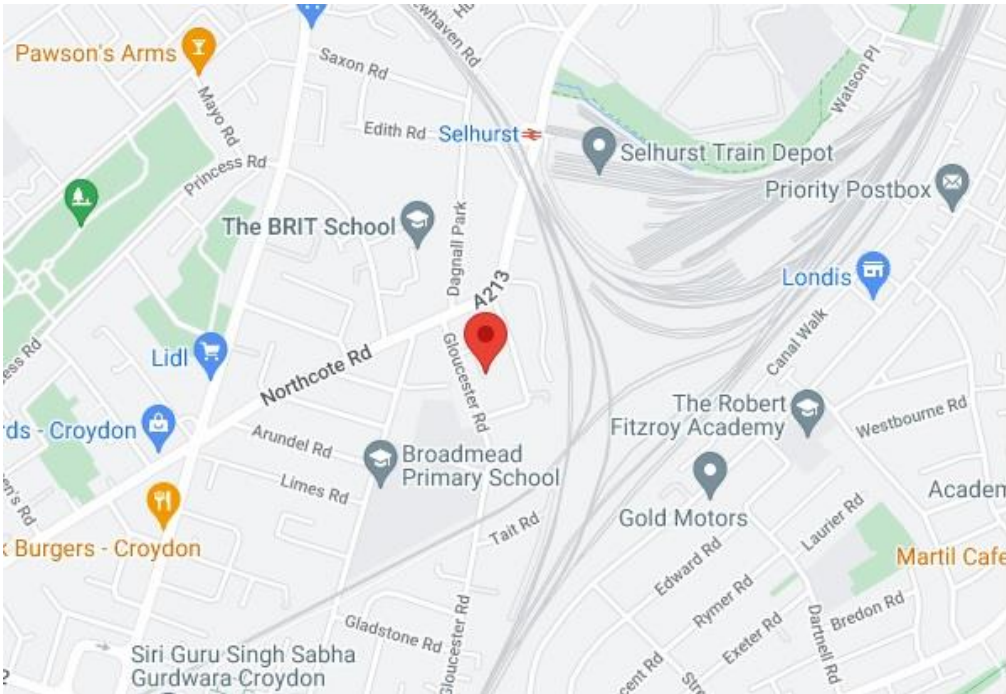
- ❖ TWO DOUBLE BEDROOMS
- ❖ END OF TERRACE HOUSE
- ❖ SOUTH WESTERLY FACING REAR GARDEN
- ❖ SMARTLY PRESENTED THROUGHOUT
- ❖ CLOSE TO LOCAL AMENITIES
- ❖ 0.3 MILES FROM SELHURST TRAIN STATION
- ❖ 0.9 MILES FROM WEST CROYDON TRAIN STATION
- ❖ LARGE FIRST FLOOR BATHROOM
- ❖ STYLISH FITTED KITCHEN
- ❖ EPC EER E

A smartly presented two double bedroom end-of-terrace house, situated within this popular residential area, conveniently located 0.3 miles from Selhurst train station, and 0.9 miles from both West Croydon & East Croydon train stations.

This bright & airy home boasts stripped wooden floorboards, it has stylish window shutters, a wood burning stove & feature fireplaces, and boasts ample storage space.

The accommodation comprises two double bedrooms each with fitted wardrobe cupboards, a stylish first floor bathroom suite with shower over-bath, two full-width reception rooms, a contemporary fitted kitchen, and a private landscaped rear garden with a paved patio area and lawn with shrub borders.

Furthermore, this property sits nearby to an abundance of local amenities, there are excellent local bus route just around the corner, and it is within walking distance to a number of local parks. In our opinion this property would make a fantastic first time buy.



Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C		76 C
55-68	D		
39-54	E	48 E	
21-38	F		
1-20	G		